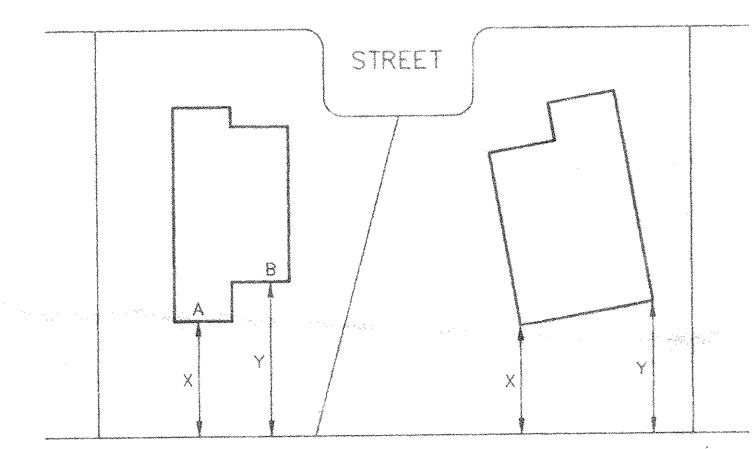


TYPICAL STREET SECTION
APPROVED
PLANNED UNIT DEVELOPMENT

Planning Commission
City of San Antonio
Chairman *[Signature]* 3-9-94
Secretary *[Signature]* 3-9-94
[Signature] R.V.

TYPICAL LOT
NOT TO SCALE



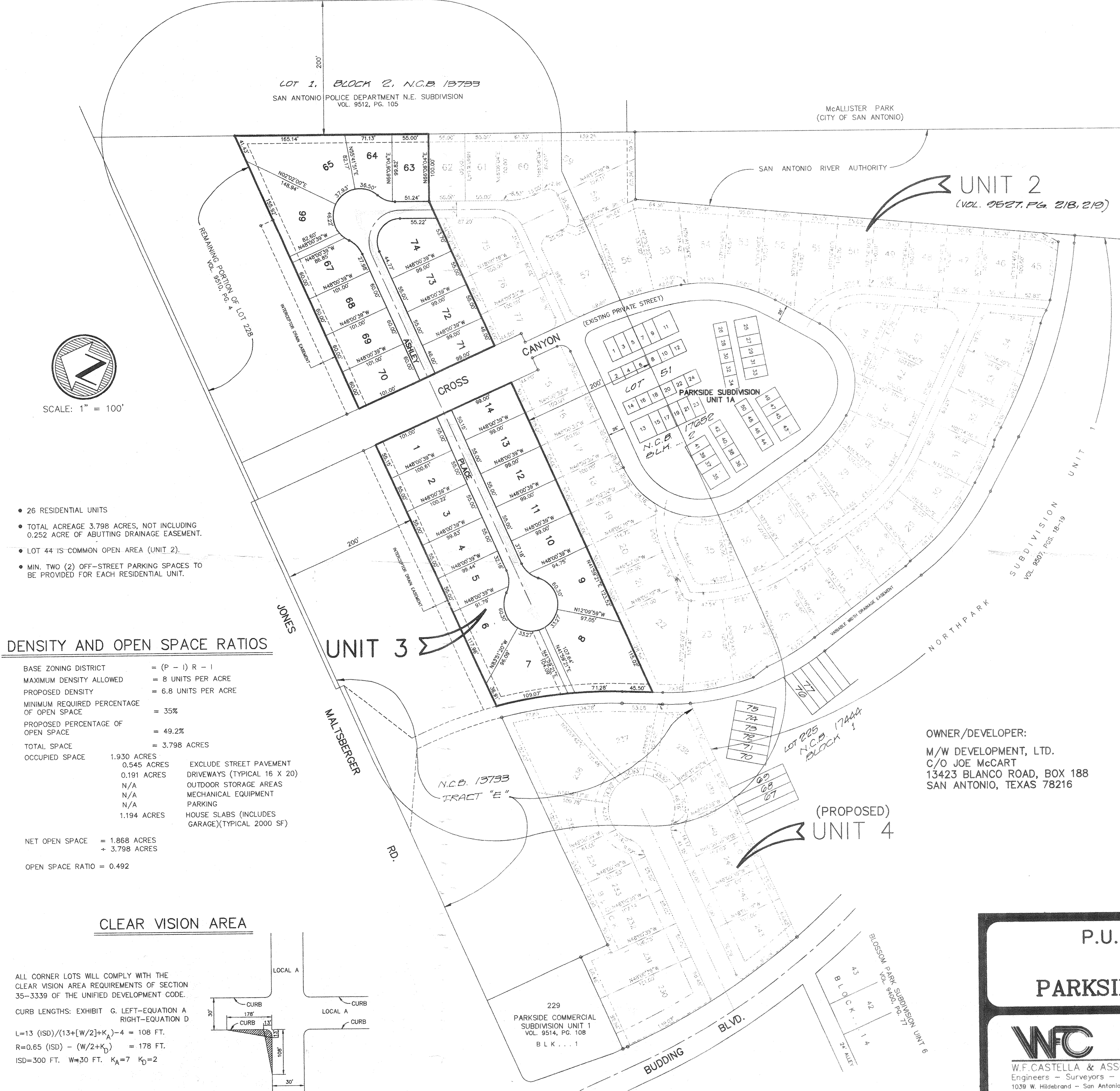
MEAN HORIZONTAL DISTANCE
NOT TO SCALE

NOTES:

1. THERE SHALL BE AT LEAST TEN (10) FEET OF SPACING BETWEEN ABUTTING LOT STRUCTURES.
2. SIGHT LINES SHALL BE OBSERVED, ALONG PAVING LINES, AS SHOWN. WITHIN CLEAR VISION AREA, NO STRUCTURE, FENCE OR LANDSCAPING SHALL BE PLACED AS TO OBSTRUCT THE LINE OF SIGHT WITHIN THE TRIANGLE BETWEEN THREE (3) FEET AND NINE (9) FEET ABOVE THE ROADWAY SURFACE.
3. PEDESTRIAN ACCESS (3' SIDEWALKS) TO BE PROVIDED WITH THE DEVELOPMENT OF EACH RESIDENTIAL LOT.
4. ALL STREETS WITHIN DEVELOPMENT ARE PRIVATE STREETS. THE PRIVATE STREETS ARE ALSO DRAINAGE, WATER, SANITARY SEWER, ELECTRICAL, GAS, TELEPHONE, AND CABLE T.V. EASEMENTS.

OWNER/DEVELOPER:
M/W DEVELOPMENT, LTD.
C/O JOE McCART
13423 BLANCO ROAD, BOX 188
SAN ANTONIO, TEXAS 78216

(PROPOSED)
UNIT 4



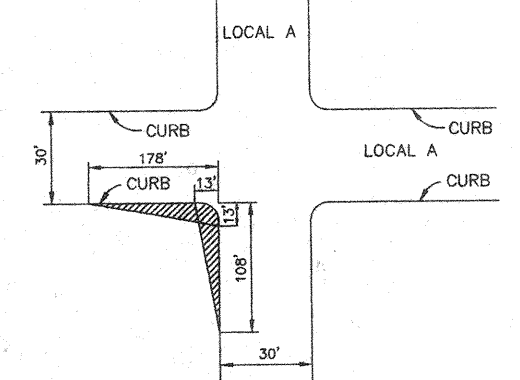
- 26 RESIDENTIAL UNITS
- TOTAL ACREAGE 3.798 ACRES, NOT INCLUDING 0.252 ACRE OF ABUTTING DRAINAGE EASEMENT.
- LOT 44 IS COMMON OPEN AREA (UNIT 2).
- MIN. TWO (2) OFF-STREET PARKING SPACES TO BE PROVIDED FOR EACH RESIDENTIAL UNIT.

DENSITY AND OPEN SPACE RATIOS

BASE ZONING DISTRICT	= (P - I) R - I
MAXIMUM DENSITY ALLOWED	= 8 UNITS PER ACRE
PROPOSED DENSITY	= 6.8 UNITS PER ACRE
MINIMUM REQUIRED PERCENTAGE OF OPEN SPACE	= 35%
PROPOSED PERCENTAGE OF OPEN SPACE	= 49.2%
TOTAL SPACE	= 3.798 ACRES
OCCUPIED SPACE	1.930 ACRES
	0.545 ACRES EXCLUDE STREET PAVEMENT
	0.191 ACRES DRIVEWAYS (TYPICAL 16 X 20)
	N/A OUTDOOR STORAGE AREAS
	N/A MECHANICAL EQUIPMENT
	N/A PARKING
	1.194 ACRES HOUSE SLABS (INCLUDES GARAGE)(TYPICAL 2000 SF)
NET OPEN SPACE	= 1.868 ACRES
	+ 3.798 ACRES
OPEN SPACE RATIO	= 0.492

CLEAR VISION AREA

ALL CORNER LOTS WILL COMPLY WITH THE CLEAR VISION AREA REQUIREMENTS OF SECTION 35-3339 OF THE UNIFIED DEVELOPMENT CODE.
CURB LENGTHS: EXHIBIT G. LEFT-EQUATION A
 $L=13 (ISD)/(13+[W/2]+K_A)-4 = 108 \text{ FT.}$
 $R=0.65 (ISD) - (W/2+K_D) = 178 \text{ FT.}$
 $ISD=300 \text{ FT. } W=30 \text{ FT. } K_A=7 \text{ } K_D=2$



P.U.D. PLAN
for
PARKSIDE UNIT 3

WFC
W.F. CASTELLA & ASSOCIATES, INC.
Engineers - Surveyors - Planners
1039 W. Hildebrand - San Antonio, Texas 78201 - (210)734-5351

JOB NO.	45548-02
FILE:	PARKSIDE
DATE:	10/08/93
DESIGN:	J.N.
DRAWN:	A.R.
CHECKED:	
SHEET	1 OF 1